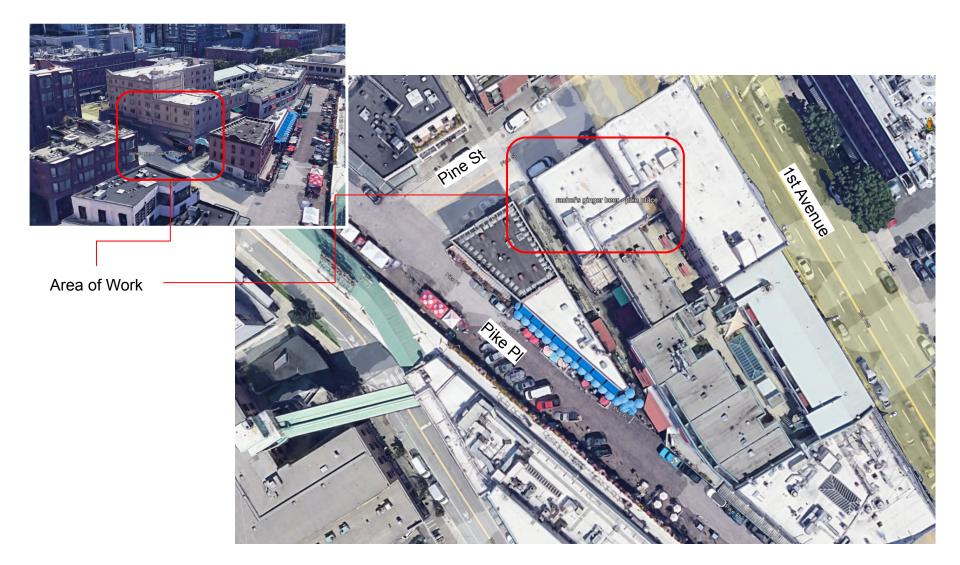


Site Plan



2013/2014 Original Buildout

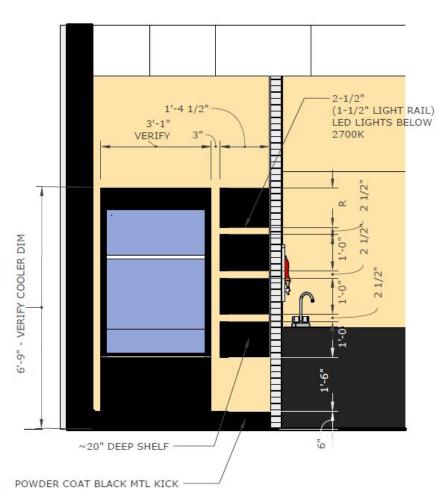


Minor Past Updates



- 2015 Open metal lights were replaced with globe lights. The globe lights were more hygienic as they are easier to clean, have no open bulbs, and shatter proof. The globes also give off a better glow and create a more inviting atmosphere.
- 2018 Wall of shelves (+ copper mugs) and ice display was replaced with a cooler and retail shelving. Ice display was labor intensive and leaked water, creating a safety hazard for visitors. The display had to be loaded and unloaded daily which was costly as wages have gone up. Wood matching the front counter encased the display.

Minor Past Updates





TAC-48-LD

- True's air curtain merchandisers are designed with enduring quality that protects your long term investment.
- Designed using the highest quality materials and components to provide the user with colder product temperatures and lower utility costs in an attractive merchandiser that brilliantly displays food and beverages.
- Large, open front allows easy access to display levels and places maximum attention on merchandising.
- Oversized, factory balanced, refrigeration system holds 35°F to 40°F (1.6°C to 4.4°C).
- Patented reversing condenser fan motors. Fan motors reverse during defrost off cycles to help keep condenser coil free from dirt, dust and debris. Keeping coils clean optimizes the unit's performance providing colder holding temperatures and increased energy efficiency. Regularly scheduled thorough cleaning of coils still recommended.
- Durable and permanent non-peel or chip white vinyl exterior with white aluminum interior and stainless steel floor and deck pans.
- Adjustable, heavy duty PVC coated shelves.
- Entire cabinet structure is foamed-inplace using Ecomate. A high density, polyurethane insulation that has zero ozone depletion potential (ODP) and zero global warming potential (GWP).

ROUGH-IN DATA

Specifications subject to change without notice. Chart dimensions rounded up to the nearest ¾" (millimeters rounded up to next whole number).

		Cabinet Dimensions (inches) (mm)						NEMA	Cord Length (total ft.)	Crated Weight (lbs.)
Model	Shelves	L	D	Н	HP	Voltage	Amps	Config.	(total m)	(kg)
TAC-48-LD	4	48	301/8	80%	1	208/230/60	12.0	6-15P	6.5	540
		1220	766	2048	1	230-240/50/1	9.0	A	1.98	245

Requires 208-230/60 Hz, single phase, NEMA 6-15R.

▲ Plug type varies by country.

SCHOOLHOUSE

ELECTRIC & SUPPLY CO.



Fixture price does not include bulb(s).



Luna Pendant Cord - 10" or 12" Shade

\$149.00 Each

17"

Pared down to the elements of line and light, the Luna Collection retains a delicate, sculptural quality that illuminates a room even when unlit. A stylish take on task lighting, the glass shades milky finish illuminates evenly for a moonlike glow. A vinyl cord and simple fixture components add to the versatility and simplicity of this fixture

Like all of our fixtures and shades, the Luna Collection features handcrafted materials that are Manufactured in our Portland factory to exacting specifications. A Schoolhouse Electric Original.

- · Fixture length includes shade
- Includes Opal glass globe shade in your choice of diameter - 10" or 12"
- · Choice of canopy and shade cap finish:
- Antique Black canopy and shade cap comes with Black Vinyl cord
- o White canopy and shade cap comes with White Vinyl cord
 - Replacement Luna shades are available as a Special Order item. Please contact us at 800–630–7113 for more information.

elect Finish
elect Cord
elect Shade
10" Opal
elect Fixture Length (Specified length includes shade)

Minor Past Updates



- Demo existing retail counter.
- New smaller retail counter (in same location) to accommodate the addition of a small food prep area. Food prep area will be hidden behind a partial height wall that features a new mural.
- Restroom updated to open toward hallway instead of interior of store. Flexible security gate will allow access to bathroom after hours while leaving remainder of market secure.
- Food prep area does not require a hood, just warming pre-cooked products.
- Existing menu board to remain, however it will be shifted North for better viewing. Existing lighting to remain, with the
 exception of one pendant that will be removed as it will conflict with new menu board location.
- Rear glass wall to be replaced with wood to match front retail area. (and better hide dish area)

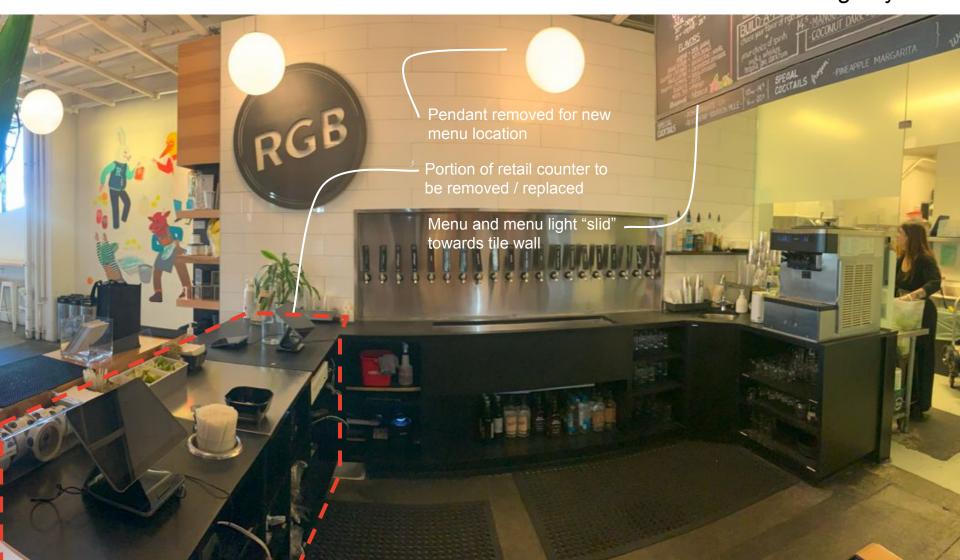
Existing Layout



Existing Layout



Existing Layout



Existing Layout (hallway)



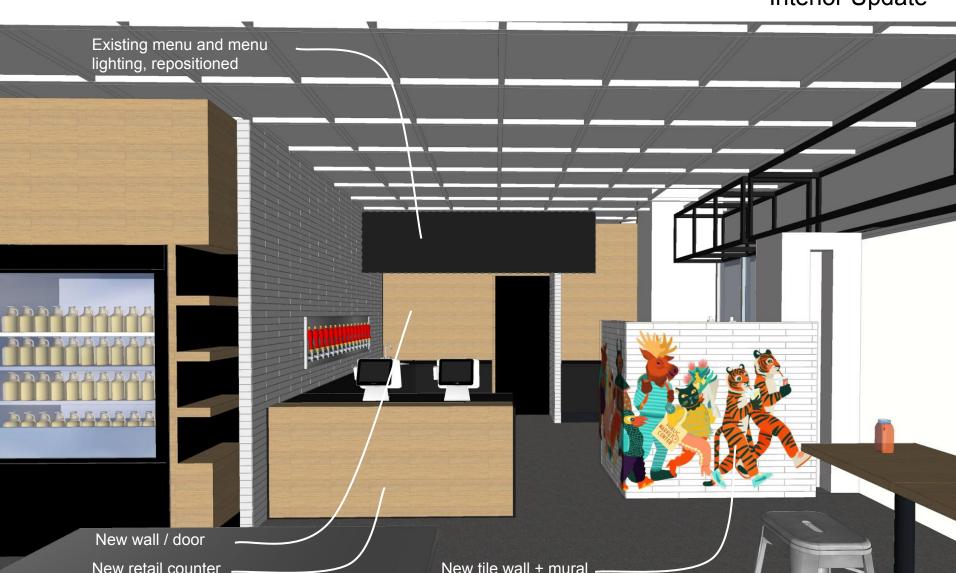


Existing Layout (bathroom)



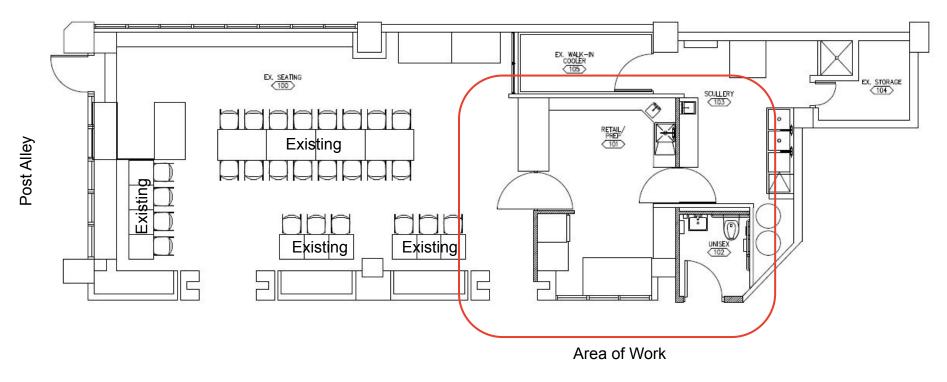


Interior Update



Interior Update





Description of work: Update retail counter to accommodate cook line. Restroom updated to open toward hallway, which will have a security gate that will close off access beyond after hours. Cook line does not require a hood, just warming pre-cooked products.

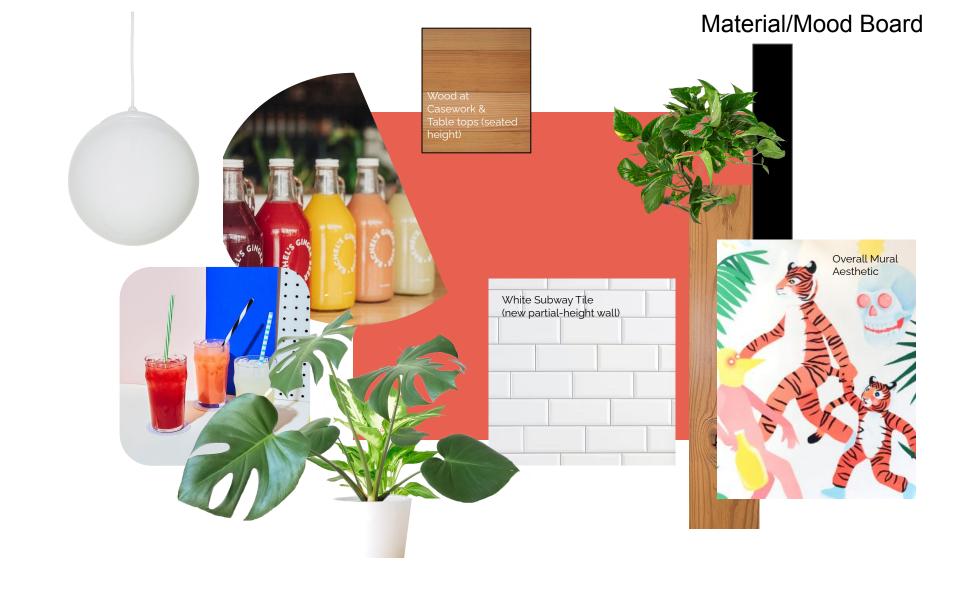
Custom Mural by Stacey Rozich



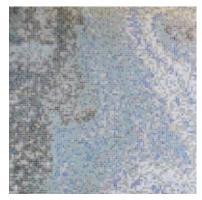
Mosaic Tile Mural

Axonometric View

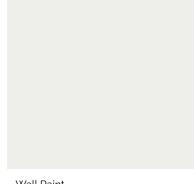




Materials



Custom Image Mosaic Tile (Mural) MFGR: Artaic (example)



Wall Paint Sherwin Williams SW 7006 Extra White



Wall Tile Royal Mosa (3 sizes) 4", 6", 8" + base



Black Counter Richlite Color: Black Diamond



Wood Hickory Clear Finish

Free-Standing Furniture







Typical Stools

Stools at
Bar-height
Tables
(attached
To floor)



Typical tables at Banquette Seating areas

Table tops with Growler storage as base



INTERIOR RENOVATION

RACHEL'S GINGER BEER 1530 POST ALLEY SEATTLE, WA 98101

ISSUE FOR PERMIT

06.06.2024

INDEX OF DRAWINGS

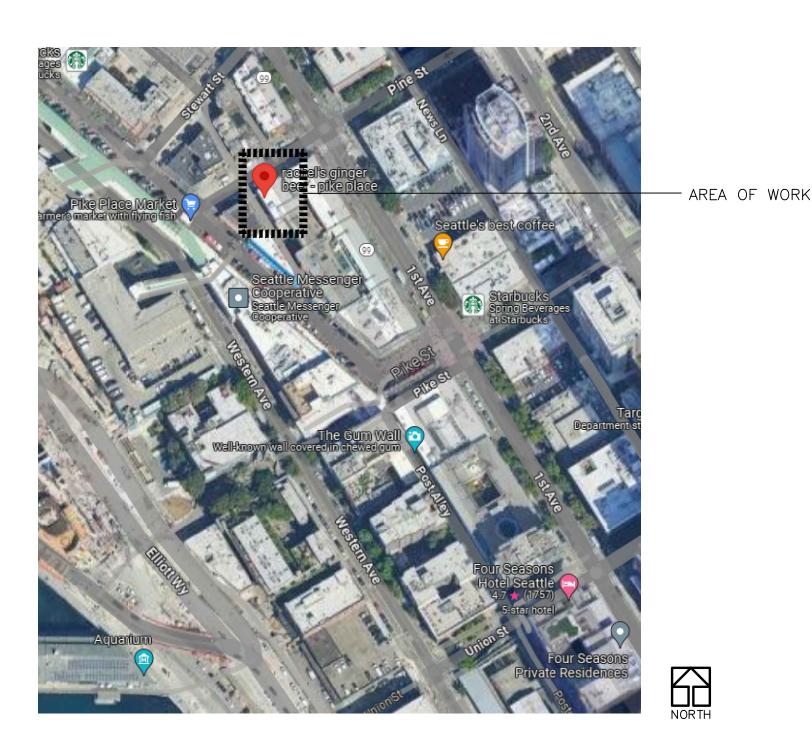
	ISSUE	TO BID			ADDENDUM	CONSTRUCTION	офи	
DRAWINGS SHEET	ISSUE FOR	ISSUE FOR PERMIT	CITY REVIEW COMMENTS	CITY REVIEW COMMENTS R2	ADD 01	ISSUE FOR	1	2
DRAWINGS SHEET	OWNER REVIEW					CONSTRUCTION	Λ	2
	03-11-2024	06-06-2024	07-15-2024	11-21-2024	XX-XX-2024	XX-XX-2024	XX-XX-XX	xx-xx-
TITLE:								
CO.O TILE SHEET AND INDEX OF DRAWINGS	•	•	•	•				
CO.1 SYMBOLS AND ABBREVIATIONS	•	•	•	•				
CO.2 CODE PLAN	0	•	•	•				
ARCHITECTURAL:								
D2.1 ENLARGED SCALE DEMO PLANS	•	•	•	•				
A2.1 ENLARGED SCALE PLANS	•	•	•	•				
A5.1 INTERIOR ELEVATIONS & SCHEDULES	0	•	•	•				
								—
								—

SUMMARY OF WORK

TENANT IMPROVEMENT OF EXISTING BACK OF HOUSE AREAS. PROJECT TO INCLUDE DEMOLITION OF AN EXISTING UNISEX RESTROOM AND INSTALLING A NEW UNISEX RESTROOM WITH ACCESS FROM BUILDING CORRIDOR. NEW FRONT OF HOUSE CASEWORK AND EQUIPMENT TO BE INSTALLED. NO CHANGE IN USE. MECHANICAL AND ELECTRICAL WORK TO SUPPORT NEW LAYOUT. (EXISTING FIRE ALARM SPRINKLER SYSTEM TO BE REVISED/EXTENDED TO PROVIDE COMPLETE AND CONTINUOUS PROTECTION. NO CHANGE IN USE.

PLUMBING: EXISTING ADA RESTROOMS PROVIDED IN MULTIPLE LOCATIONS AT THE BUILDING/MARKET DIRECTIONAL ADA SIGNAGE TO BE PROVIDED TO INDICATE NEAREST EXISTING ACCESSIBLE RESTROOM PER SEBC 305.8.10.

VICINITY MAP



PROJECT SUMMARY

206.437.8395 C: ADAM PETERS

PROJECT TEAM

E: EANGULO@DLRGROUP.COM

MECHANICAL / ELECTRIAL

BIDDER DESIGN

CONTRACTOR

BODHI BUILDERS, LLC 4750 AIRPORT WAY, S SEATTLE, WA 98108 T: 206.992.8019

PROJECT DATA

PARCEL NUMBER: 516050-0000

BUILDING ID: 000025758 ZONING: PMM-85

JRBAN OVERLAY: PIKE PLACE MARKET

LEGAL DESCRIPTION: PLOT LOT: MARKET HOUSE A CONDOMINIUM, VOLUME 68, PAGES 89-93

OCCUPANCY GROUP: A-2

CONSTRUCTION TYPE/SPRINKLERS: V-B

FIRE PROTECTION: EXISTING FIRE SPRINKLER SYSTEM

CODES

SEATTLE MUNICIPALCODES 2018 SEATTLE BUILDING CODE (SBC) 2018 SEATTLE EXISTING BUILDING CODE (SEBC) 2018 SEATTLE FIRE CODE 2018 SEATTLE ENERGY CODE (SEC) STATE OF WASHINGTON BARRIER FREE CODE W/ 2009 ICC/ANSI A117.1 ACCESSIBILITY CODE

CURRENT KING COUNTY ZONING ORDINANCES

GENERAL NOTES

- B. ALL DIMENSIONS ARE ACTUAL AND ARE TO FACE OF STUDS, FACE OF CONCRETE WALLS, FACE OF CMU WALLS, FACE OF FRAMES. OR CENTERLINE

- E. ALL WALLS SHALL EXTEND TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE UNLESS NOTED OTHERWISE.
- F. LOCATION AND SIZE OF STAGING AREAS MAY BE LIMITED AS DETERMINED BY MALL.
- G. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN METAL STUD PARTITIONS FOR THE PROPER ANCHORAGE OF ALL WALL ATTACHED ITEMS IN OWNER SCOPE OF WORK.
- RATING AND SMOKE STOPPAGE.
- I. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING THE CONTRACTOR WITH ROUGH-IN INFORMATION NECESSARY TO ACCOMMODATE THE INSTALLATION OF OWNER FURNISHED AND INSTALLED, OR CONTRACTOR INSTALLED ITEMS.
- J. THE CONTRACTOR SHALL INCLUDE ALL OWNER FURNISHED AND INSTALLED ITEMS AND OWNER FURNISHED AND CONTRACTOR INSTALLED ITEMS IN THE CONSTRUCTION SCHEDULE, AND SHALL COORDINATE WITH THE OWNER TO ACCOMMODATE THESE ITEMS.
- K. DIMENSIONS FOR DOOR AND WINDOW OPENINGS ARE SHOWN NOMINAL. ALLOW FOR 1/4-INCH (SHIM AND SEALANT OF EXTERIOR FRAMES.
- L. MALL WILL BE IN OPERATION DURING CONSTRUCTION. CONTRACTOR IS REQUIRED TO PROVIDE ACCESS TO TENANT SPACE AT ALL TIME DURING NORMAL BUSINESS HOURS. CONTRACTOR IS ALSO REQUIRED TO COORDINATE WITH SEATTLE FIRE DEPARTMENT TO MAINTAIN LEGALLY REQUIRED MEANS OF EGRESS AT ALL TIMES.

- 1. TENANT BUILDING SIGNAGE: BUILDING SIGNAGE IS NOT PART OF THIS PERMIT. SIGN CONTRACTOR SHALL SUBMIT DRAWINGS TO KING COUNTY JURISDICTION.
- 2. EXIT SIGNS SHALL BE INTERNALLY ILLUMINATED WITH 5 FOOT CANDLES. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES AND PROVIDED WITH BATTERY EMERGENCY POWER.

- A. GENERAL NOTES APPLY TO ALL SHEETS:
- OF COLUMNS, UNLESS NOTED OTHERWISE.
- C. FLOOR SPOT ELEVATIONS ARE SHOWN THROUGH TYP. FIN. FL.
- D. WALL TYPES SHALL BE DESIGNATED ON FLOOR PLANS THRU 👍 , SEE SHEET CO.2 FOR WALL TYPES.

- H. ALL PENETRATIONS THROUGH WALLS SHALL BE SEALED WITH FIRE STOPPING MATERIAL AS REQUIRED TO ACHIEVE THE RESPECTIVE FIRE-RESISTIVE

- M. PROVIDE DUST AND NOISE BARRIERS AS REQUIRED. CONTRACTOR IS REQUIRED TO COORDINATE WITH MALL MANAGER FOR WORK HOURS OF CONSTRUCTION.

PROTECTION BOARD

TILE (LARGE SCALE)

CARPET (LARGE SCALE)

ACOUSTICAL TILE (LARGE SCALE)

WINDOW NUMBER

WALL TYPE

REVISION NUMBER

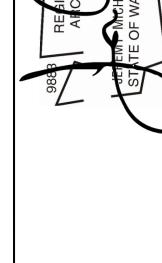
₹/

SECURITY DOOR NUMBER

PRE-FACED CONCRETE MASONRY UNIT
PRESSURE GAGE
PHASE
POINT OF INTERSECTION
PRESSURE INDICATOR

SUE FOR

Ö



EGRESS CALCULATION

OCCUPANT LOAD (TABLE)
ASSEMBLY:

PRODUCTION/KITCHEN:
STORAGE:

763SF @ 15 = 51
413SF @ 100 = 4
48SF @ 300 = 1
55 TOTAL

LEGEND

EXISTING ILLUMINATED EXIT SIGNAGE

PRODUCTION/KITCHEN

STORAGE

FIRE RESISTANCE SOUND THERMAL

FR TEST RATE TEST R-VALUE

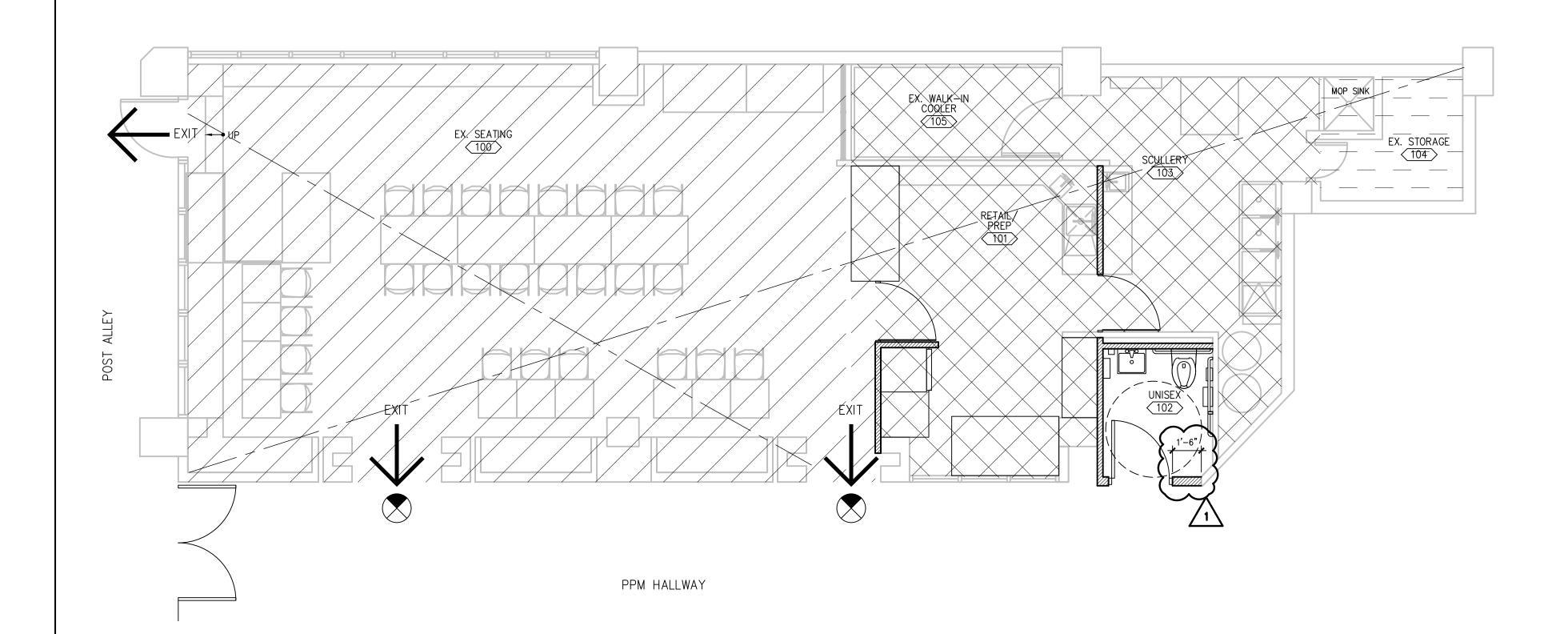
DIAGRAM

5/8" TYPE "X" GWB METAL STUD PER PLAN 5/8" TYPE "X" GWB

EGRESS ACCESS TRAVEL DISTANCE (IBC TABLE 1017.2)
MAX ALLOWED: 300' WITH SPRINKLER REQUIRED # OF EXITS: 2 (IBC TABLE 1006.3.3) EXITS PROVIDED: 3 INTERIOR ONLY IMPROVEMENT WITH NO EXTERIOR STRUCTURAL OR SITE IMPROVEMENT.
NO CHANGES TO EXISTING EXTERIOR EXIT DOOR HARDWARE.

PLUMBING

EXISTING PUBLIC RESTROOMS PROVIDED IN MULTIPLE LOCATIONS AT PIKE PLACE MARKET ON SITE.

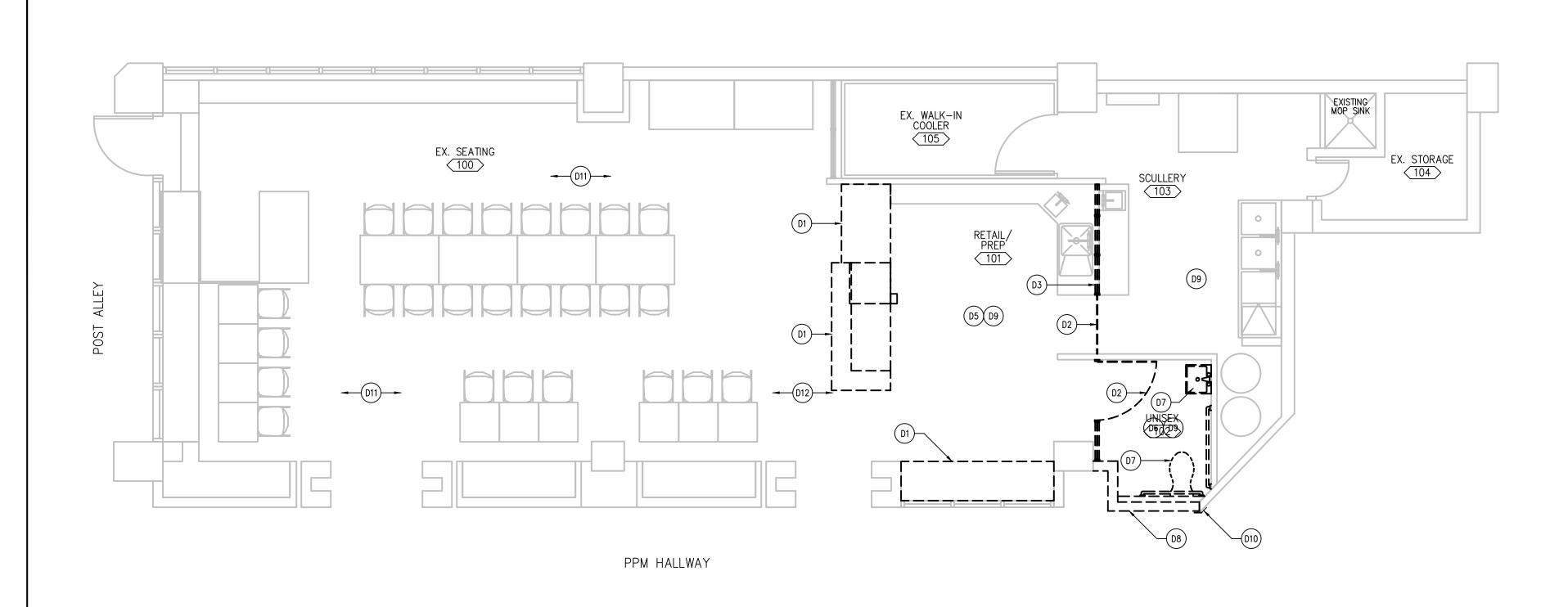




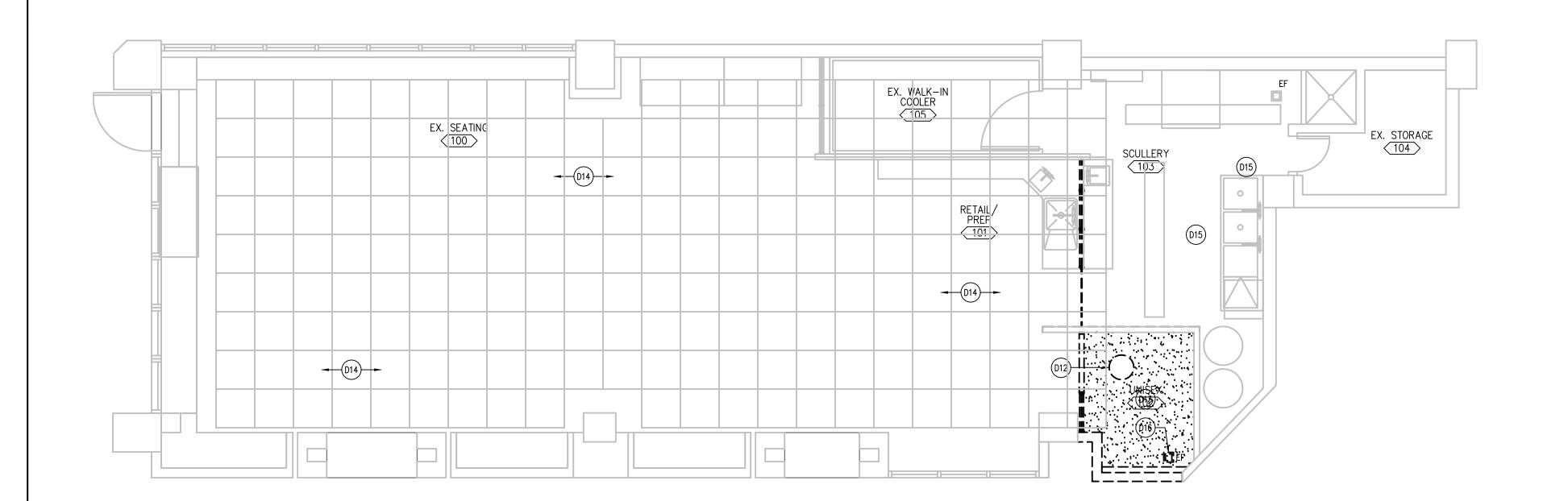
CODE PLAN
RACHEL'S GINTERIOR REN

DLR Group

Architecture Engineering Planning 1







DEMOLITION RCP



DEMOLITION KEY NOTES D1) DEMO AND REMOVE EXISTING CASEWORK. COORDINATE WITH OWNER ON EXISTING EQUIPMENT TO SALVAGE, TYP.

DIRECTED BY SOILS ENGINEER.

ADJACENT SURFACES.

LEGEND

TO BE DEMOLISHED

EXISTING DOOR TO BE REMOVED

NOTE: ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE

TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT THE GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING

B. COORDINATE ALL DEMOLITION/PHASING EFFORTS WITH THE ARCHITECT-ENGINEER AND OWNER'S REPRESENTATIVES. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF MALL OPERATION AND TO PROVIDE PATRON, MANAGEMENT, AND TENANT. EXCESSIVE NOISE OR VIBRATION SHALL BE PRE-APPROVED AND COORDINATED WITH THE OWNER'S

COORDINATE WITH THE OWNER ANY PRE-APPROVED DISRUPTION AND VERIFICATION OF SERVICE WITHIN THE EXISTING BUILDING SO AS TO MINIMIZE THE DISRUPTION OF

D. CONSTRUCT TEMPORARY CONSTRUCTION PARTITIONS WITHIN

ENCLOSURE TO ISOLATE ANY DEMOLITION/CONSTRUCTION WORK FROM THE GENERAL PUBLIC AND AS DEEMED NECESSARY BY THE OWNER. COORDINATE LOCATIONS WITH THE OWNER AND TACOMA FIRE DEPARTMENT AND MAINTAIN MEANS OF EGRESS

MAINTAIN A SECURE, WEATHER-TIGHT ENCLOSURE AT THE EXTERIOR OF THE EXISTING BUILDING THROUGHOUT THE DEMOLITION/CONSTRUCTION PORTION OF THE WORK IN THAT

VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS AND NOTIFY THE ARCHITECT-ENGINEER OF ANY

DESCRIBED BY THE ARCHITECT-ENGINEER.

MATCH EXISTING FINISH AND/OR CONDITION. THE CONTRACTOR SHALL COORDINATE WITH THE

TO SALVAGE ANY MATERIALS.

AREA. BUILDING SECURITY SHALL BE COORDINATED WITH THE

REMOVE IN THEIR ENTIRETY ALL EXISTING WALLS, DOORS, AS REQUIRED TO EXECUTE THE DEMOLITION/CONSTRUCTION WORK

H. REMOVE ALL DEMOLITION MATERIALS FROM THE SITE UNLESS NOTED OTHERWISE. THE OWNER SHALL RESERVE THE RIGHT

PROVIDE PROTECTION FOR ALL EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO ANY DEMOLITION OR CONSTRUCTION-RELATED INCIDENT PERFORMED UNDER THIS

REPAIR OR REPLACE ANY WALLS, FLOORS, OR EQUIPMENT DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION TO

ARCHITECT-ENGINEER ANY MATERIALS TO BE REUSED AND WILL BE RESPONSIBLE FOR VERIFYING AND MAINTAINING THE FUNCTIONAL AND AESTHETIC INTEGRITY OF THE MATERIALS.

VERIFY AND MAINTAIN THE LOCATION OF EXISTING POWER, COMMUNICATION AND DATA CABLES SO AS NOT TO

M. PATCH ALL FLOOR AND CEILING PENETRATIONS RESULTING FROM REMOVAL OR REROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, ETC...AS REQUIRED TO MAINTAIN FIRE SEPARATIONS. FINISH AS REQUIRED FOR NEW OR EXISTING

NEW OR EXISTING ADJACENT SURFACES.

FURTHER SEQUENCING AND SCOPE OF WORK.

INADVERTENTLY INTERRUPT THE CONTINUITY OF THEIR SERVICE.

CAP ALL DISCONNECTED MECHANICAL PIPING LINES WITHIN THE WALL OR FLOOR. PATCH AND FINISH AS REQUIRED TO MATCH

O. SEE MECHANICAL AND ELECTRICAL DRAWINGS AND NOTES FOR

AVOID ANY DISTURBANCE OF SOILS WITHIN THE ZONE OF INFLUENCE AROUND EXISTING FOOTINGS AND FLOOR SLABS AS

THE EXISTING BUILDING WHICH OFFER A ONE-HOUR

EXISTING WALL TO REMAIN

DEMOLITION

(APPLIES TO ALL DEMOLITION SHEETS)

REPRESENTATIVE.

THROUGHOUT THE WORK.

DISCREPANCIES.

(D3) DEMO AND REMOVE EXISTING GLAZING WALL TYPE.

(D2) REMOVE EXISTING GLAZING DOOR AND HARDWARE FOR REUSE.

(D4) REMOVE EXISTING EQUIPMENT TABLE.

(D5) DEMO AND REMOVE EXISTING RUBBER MATS AND MENU BOARDS IN RETAIL/PREP AREA.

(D6) REMOVE EXISTING HANDRAIL, MIRRORS, PAPER TOWEL DISPENSER AND SOAP DISPENSER AND ALL OTHER RESTROOM ACCESSORIES.

(D7) DEMO AND REMOVE EXISTING PLUMBING FIXTURES, TYP.

D8) REMOVE EXISTING SECURITY CAMERA AND SANITARY SOAP DISPENSER. COORDINATE WITH MARKET FACILITIES FOR RELOCATION.

(D9) PATCH, REPAIR AND CLEAN EXISTING FLOOR FINISH, TYP.

(D10) DEMO AND REMOVE EXISTING CORNER GUARD.

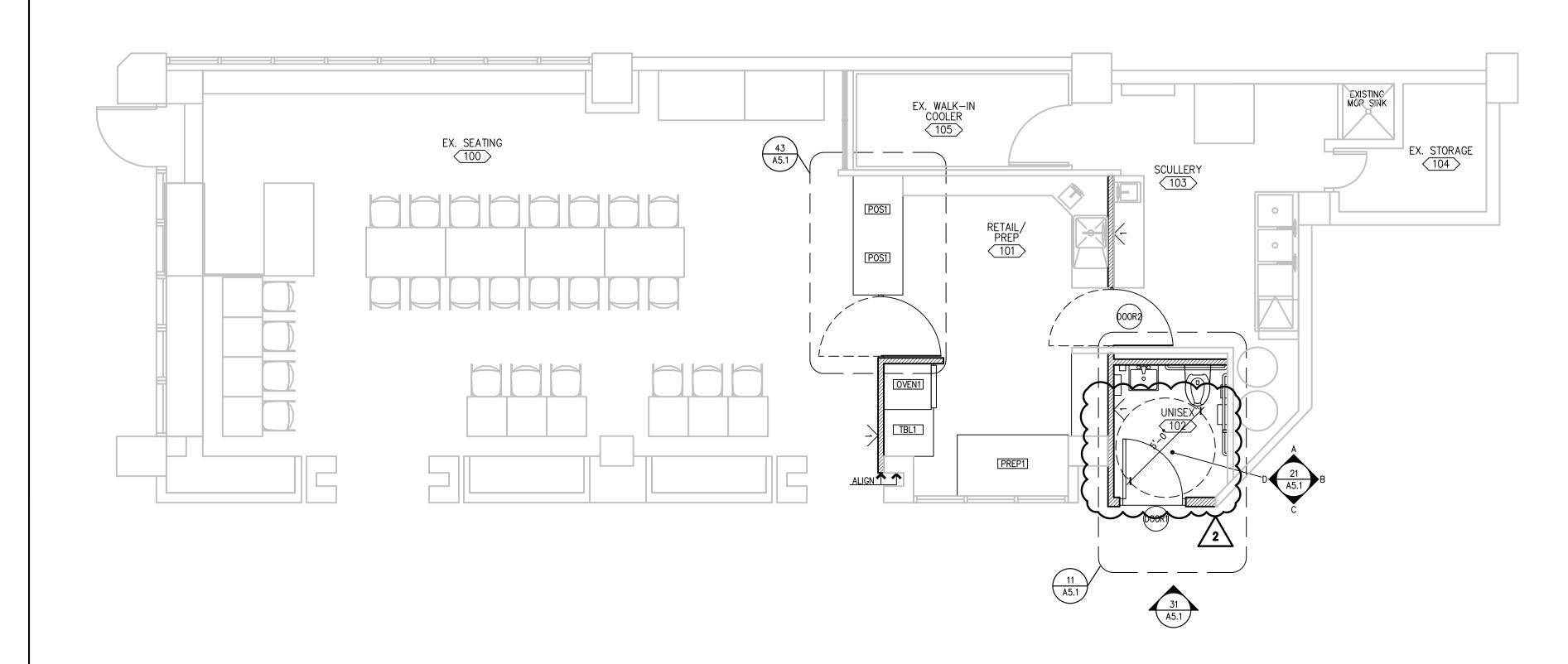
(D11) EXISTING TO REMAIN. AREA NOT IN SCOPE.

(D12) REMOVE EXISTING RESTROOM LIGHT FIXTURE FOR REUSE.

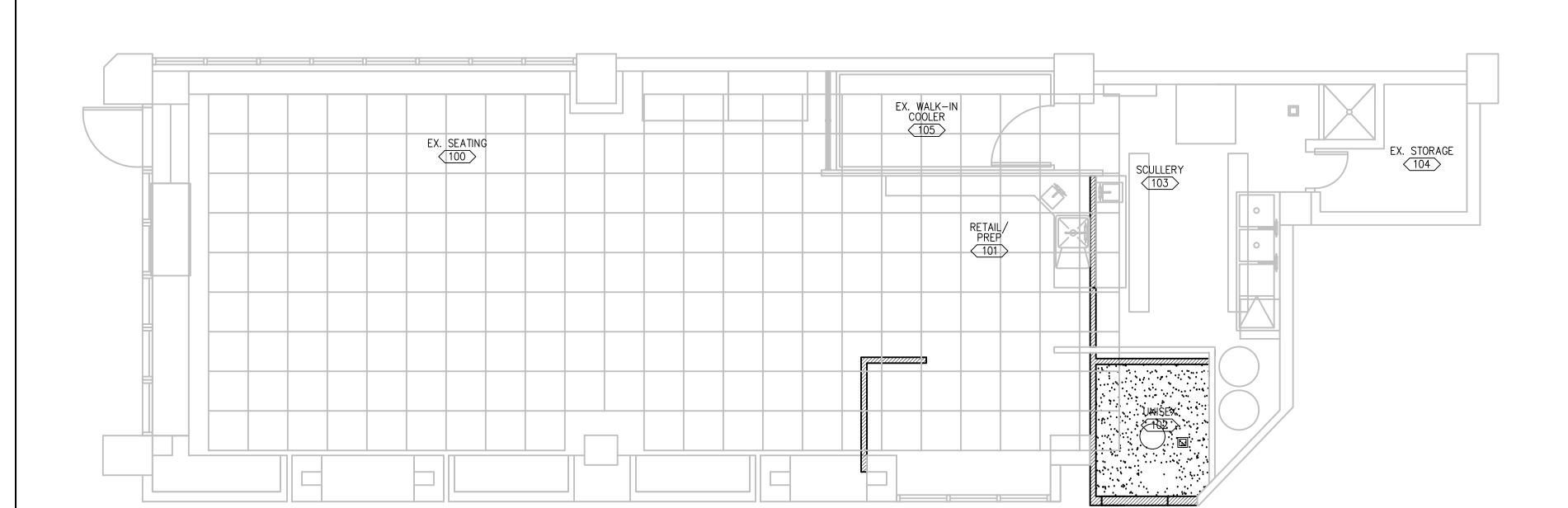
D13) PATCH AND REPAIR EXISTING GWB CEILING TO RECEIVE NEW PAINT. D14) EXISTING LIGHTING, RADIANT HEATERS, SPRINKLERS AND CEILING POWER GRID TO REMAIN AS IS.

EXISTING GRID @ 10'-0" AFF EXISTING CEILING @ 11'-3" AFF (D15) EXISTING LIGHT FIXTURES, EXHAUST FANS TO REMAIN AS IS,

EXISTING CEILING @ 11'-3" D16) RELOCATE EXISTING EXHAUST FAN AND MODIFY DUCTWORK\
AS REQUIRED.







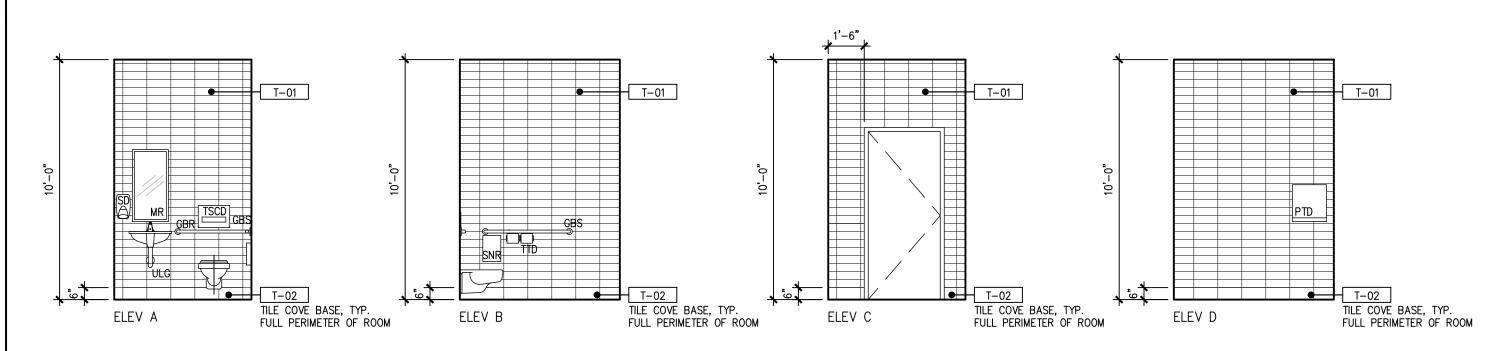
ABBREV.	DESCRIPTION	MFR NAME & MOD
CH	COAT HOOK WITH BUMPER	BOBRICK B-212
FD	FLOOR DRAIN	EXISTING
GBR	GRAB BARS	BRADLEY 8120-00
GBS	GRAB BARS (SIDE MOUNT)	BRADLEY 8120-0
_AV	LAVATORY	TBD
MR	FRAMED TILE MIRROR	BOBRICK B-165 (
PTD	PAPER TOWEL DISPENSER	BRADLEY 250-15

FD	FLOOR DRAIN	EXISTING
GBR	GRAB BARS	BRADLEY 8120-00136
GBS	GRAB BARS (SIDE MOUNT)	BRADLEY 8120-00142
LAV	LAVATORY	TBD
MR	FRAMED TILE MIRROR	BOBRICK B-165 (24"x36")
PTD	PAPER TOWEL DISPENSER	BRADLEY 250-15
SD	SOAP DISPENSER	BOBRICK B-822
SND	SANITARY NAPKIN DISPENSER	BRADLEY 4781-15
TSCD	TOILET SEAT COVER DISPENSER	BOBRICK B-221
TTD	TOILET TISSUE DISPENSER	BRADLEY 5224
ULG	UNDER LAVATORY GUARD	TRUEBRO "TRAP WRAP"
WC	WATER CLOSET	TBD
WR	WASTE RECEPTACLE	BOBRICK B-43644

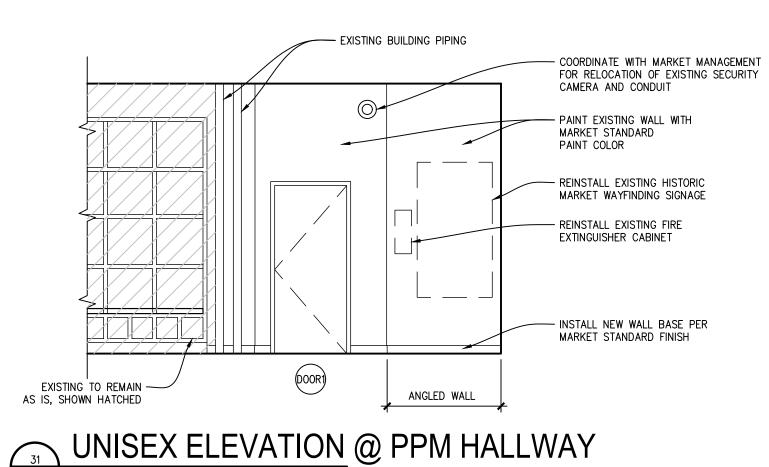
3'-4"	3'-4"	5,-8,	15" TYP 17" @ H.C.
MIRROR	SANITARY NAPKINS DISPENSER (SND)	SANITARY NAPKIN RECEPTACLE	WATER CLOSET

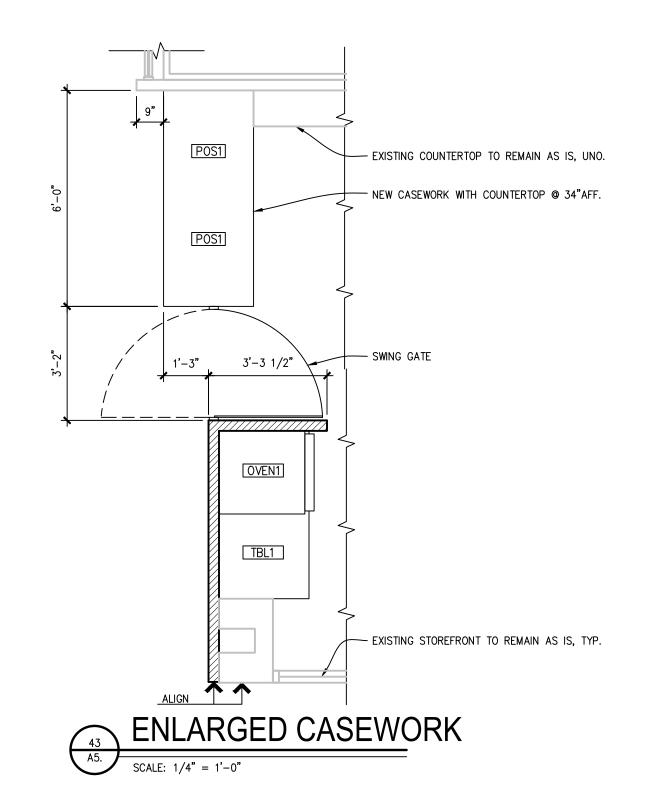
1. ALL DIMENSIONS PIPE, INSULATION CLEARANCES, HARDWARE, ETC. TO COMPLY WITH LATEST A.D.A. GUIDELINES.
2. FURNISH AND INSTALL ALL ADA, EXIT, NO SMOKING AND RESTROOM SIGNAGE AS REQUIRED BY CITY OF SEATTLE CODES.

	ADA PROT.	38.	40,,	34."		>	32,"
_	LAVATORY	SOAP DISPENSER		SEAT COVER DISPENSER	•	GRAB BAR	TOILET PAPER DISPENSER









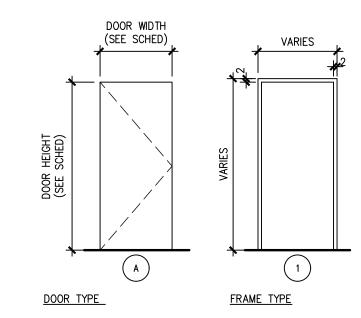
PT-01	PAINT	SHERWIN WILLIAMS	SW 7006 EXTRA WHITE	EGG SHELL	GENERAL WALL USE
PT-02	PAINT	SHERWIN WILLIAMS	SW 7006 EXTRA WHITE	SEMI-GLOSS	BATHROOM CEILING
				•	
T-01	WALL TILE	ROYAL MOSA	-	WHITE	(3) SIZES: 4", 6", 8"
T-02	WALL TILE	ROYAL MOSA	_	WHITE	6" TILE BASE
	CONCRETE FLOOR FINISH	_	-	_	LEVEL 3 800-GRIT DIAMOND ABRASIVE FINISH
CONC					
CONC					
	WALL BASE	TBD	-	_	STANDARD MARKET WALL BASE
WB-01	WALL BASE	TBD	-	-	STANDARD MARKET WALL BASE

FINISH NOTES

- 1. (1) PRIME COAT (SPOT PRIME IF PREVIOUSLY PAINTED) AND PAINT (2) COATS MINIMUM OR AS NEEDED TO COVER AT ALL INTERIOR WALLS AND CEILINGS.
- 2. PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES.
- 3. VERIFY ALL FINISH LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
- 4. ALL FINISH MATERIALS ARE FURNISHED BY CONTRACTOR UNLESS NOTED OTHERWISE ON DRAWINGS.
- 5. ASSURE ADEQUATE PREPARATION OF ALL SURFACES TO PROVIDE A SMOOTH REGULAR FINISH.
- 6. PROVIDE METAL TRANSITION STRIPS AT ALL FLOOR MATERIAL CHANGES.
- 7. SCHEDULE FLOOR FINISHES ARE TO EXTEND UNDER ALL BASES (WALL TO WALL).
- 8. ALL EXPOSED GRILL WORK MISC. ITEMS AT CEILING TO BE PAINTED TO MATCH ADJACENT CEILING TILES OR HARD CEILING COLOR.
- 9. CONTRACTOR TO OBTAIN A COPY OF CURRENT MANUFACTURER INSTALLATION INSTRUCTIONS ON ALL PRODUCTS, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 10. CABINET BASES TO BE SET BEFORE FLOOR INSTALLATION.
- 11. CONTRACTOR TO CLEAN AND PREPARE FLOOR. PATCH AND LEVEL CONCRETE AND/OR GRIND IF REQUIRED TO PROVIDE A LEVEL SURFACE WHICH WILL NOT TELEGRAPH IMPERFECTIONS.
- 12. ALL FINISHES TO BE IN ACCORDANCE WITH LOCAL CODES AND FIRE RATINGS.
- 13. CONTRACTOR SHALL SUBMIT DRAWINGS OF ALL PAINT COLORS AND FINISHES TO OWNER FOR APPROVAL PRIOR TO PAINTING.
- 14. SEE ELEVATIONS FOR FINISH INFORMATION.
- 15. INSTALL ANTI-GRAFFITI FILM ON ALL MIRRORS, FILM BY HANITA COATING, 4mm CLEAR, TYP

NUMBER	DOOR	DOOR				FRAME R1		RTG	HARDWARE	DETAILS	RTG HARDWARE DETAILS		NOTES	
	WIDTH	HEIGHT	THICK	TYPE	MAT	TYPE	DEPTH	MAT		GROUPS	HEAD	JAMB	SILL	
DOOR1	36"	84"	1 3/4"	Α	НМ	1	7 7/8"	НМ	NR	HW01	_	-	_	

- A) ALL DOOR HARDWARE TO COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA).
- B) HINGES, EXCEPT AS SCHEDULED, PROVIDE 3 HINGES FOR EACH LEAF 3'-0" X 7'-0". FOR DOORS WIDER THAN 3'-0" OR TALLER THAN 7'-0" PROVIDE 4 HINGES EACH LEAF: STANLEY FBB179 4-1/2" X 4-1/2" NRP.
- C) FOR ALL DOORS, PROVIDE WALL STOPS AT ADJACENT WALLS, TRIMCO 1270 CVX, EXCEPT PROVIDE FLOOR STOPS WHERE DOOR DOES NOT RETURN TO WALL, TRIMCO 1211 UNIVERSAL DOME STOP
- D FINISH FOR ALL DOOR HARDWARE, US32D, UNLESS NOTED OR SCHEDULED OTHERWISE.



NOTE: 1. REFER TO SPECIFICATION SECTION 087100 FOR DOOR HARDWARE INFORMATION.

- 2. ALL DOORS SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE OR BY PANIC BARS OR PUSH-PULL ACTIVATING BARS OR OTHER TYPE NOT REQUIRING A GRASP
- 3. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED

15 LBS. FOR EXTERIOR DOORS, 51 LBS. FOR INTERIOR FIRE-RATED DOORS

EQUIP	MENT SCHEDULE			
SYMBOL	MATERIAL	MANUFACTURER	PRODUCT NAME/MODEL	
PREP	DELI/PIZZA PREPARATION TABLE	BEVERAGE-AIR	DPD67HC-4	
TBL1	OPEN BASE WORK TABLE	REGENCY TABLES AND SKINS	30'x60"x16GA 304 STAINLESS STEEL	
OVEN	OVEN	TURBO CHEF	THE DOUBLE BATCH	

Rachel's Ginger Beer, or RGB, is an existing business specializing in the sale of various fresh, all natural sodas for on-premise and off-premise consumption. Business currently sells RGB drinks individually and in refillable growlers, as well as floats and mixed drinks made with RGB soda. Additional retail sales (10%) include brand-related merchandise including copper specialty mugs, totes (for multiple bottles), personal drink bottles, etched glass straws, stickers, and sift goods such as hoodies, tee-shirts, and beanies.

The proposed change will add a small menu of entrees and sides that meet WSLCB requirements, estimated to comprise 15% of annual sales. To accommodate the addition of the food menu, small modifications to the space will be necessary, and design will include a continuation of RGB aesthetic, including additional artwork from mural artist Stacey Rozich.

PROPOSED MENU

- 1. Chicken sandwich with Rachel's Ginger Sauce \$15
- 2. Chicken sandwich with BBQ sauce \$14
- 3. Vegan chicken sandwich, from local manufacturer (Rebellyous Foods) \$15
- 4. Chicken strips bowl with dipping sauces small \$8/large \$11

Sides will include potato chips and house-made coleslaw, potato salad – \$3-6

Menu offerings will be served for on-premise consumption, using a combination of durable wares and compostable service items.



The City of Seattle

Pike Place Market Historical Commission

Mailing Address: PO Box 94649 Seattle WA 98124-4649 Street Address: 700 5th Ave Suite 1700

CERTIFICATE OF APPROVAL FOR USE

Date:

April 25, 2013

MHC 65/13

Applicant:

Rachel Marshall

Business:

Rachel's Ginger Beer

Address:

1530 Post Alley #1

Building:

Post Alley Market

At its meeting of April 24, 2013 the Pike Place Market Historical Commission approved the following:

Change of use for a business specializing in the onsite manufacture and sale of various fresh, all natural sodas and syrups for on-premise and off-premise consumption (80%). Business also to sell floats and mixed drinks made with RBG sodas as well as some snacks such as pita chips, nuts and cheese crisps (10%). Retail sales of products that augment specialty such as other locally manufactured bitters and syrups, copper specialty mugs, citrus juicers, totes (for multiple bottles), bar aprons, cocktail starter-kits, hoodies, tee-shirts and onesies.

(This action is categorically exempt from SEPA by the provisions of WAC 197-11-800.)

The Certificate is issued with the understanding that the applicant will obtain all other permits and approvals that may be required.

Alex Rolluda, Commission Chair

Walnut

By:

Heather McAuliffe, Commission Coordinator

Pike Place Market Historical Commission

SAMPLE MENU

RGB 12oz glass	\$4
RGB raspberry	\$5
RGB straw/rhubarb	\$5
RGB blueberry	\$5
RGB apple	\$5
RGB carrot/beet	\$5

RGB ice cream float

\$7

Moscow Mule(rgb, vodka, lime)	pint \$8
Dark and Stormy (rgb, dark rum, lime)	pint \$8
RGB spritzer (rgb, white wine, aperol)	pint \$8

Manchester Mule (rgb, gin, lime) pint \$8

Boozy float (rgb, whiskey, vanilla ice cream) pint \$11

TO GO:

RGB refillable growlette (32oz)	\$14
RGB refillable growler (64oz)	\$25
Handmade ginger syrup (16oz)	\$15

SPECIAL DISTRICT AND LANDMARK REVIEW	
DISTR'CT	POPIN
CHANGE OF USE	LOG # MHC 65/13
ST. USE	DATE 4/25/13
EXT. DESIGN	STAF H MSAULYTEE
INT. DESIGN	PHONE (84-0229
COMMENTS ON PAGES:	1 OF1
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